



Puerto Los Cabos

RESIDENCIAL DESIGN GUIDELINES

Puerto Los Cabos

Paseo de Los Pescadores s/n Pueblo La Playita 23400

San Jose del Cabo • B.C.S. Mexico

www.puertoloscabos.com

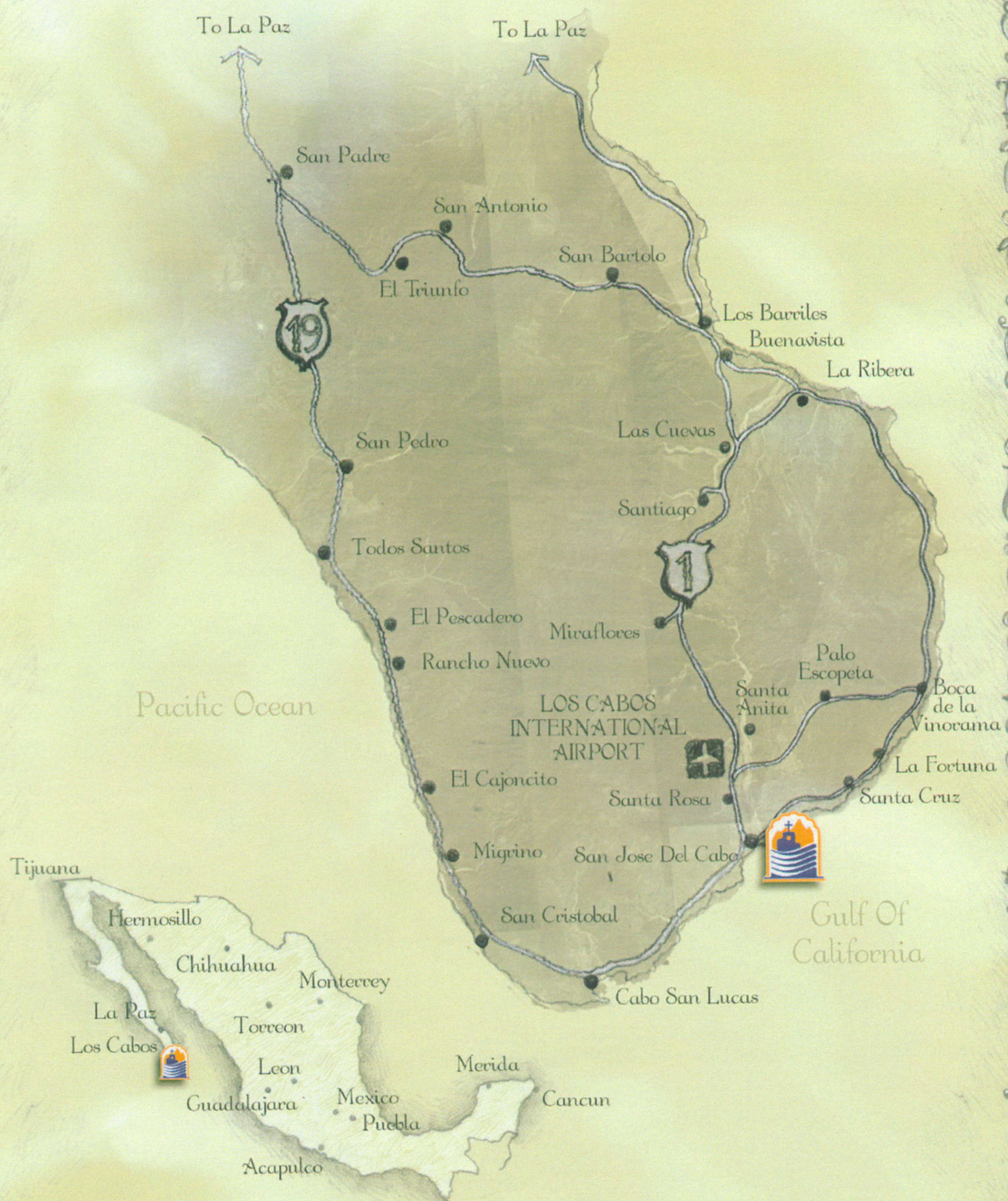


We congratulate and thank you for your decision for being part of the family at Puerto Los Cabos. Many hours have gone into the following Design Guidelines by architects, engineers and the master planners of the resort. As you and your architect review these guidelines, the vision we have for protecting your property value, the natural terrain and views will be fully understood. Enjoy your Hacienda at

Puerto Los Cabos



SITE MAP



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How to use the Residential Design Guidelines

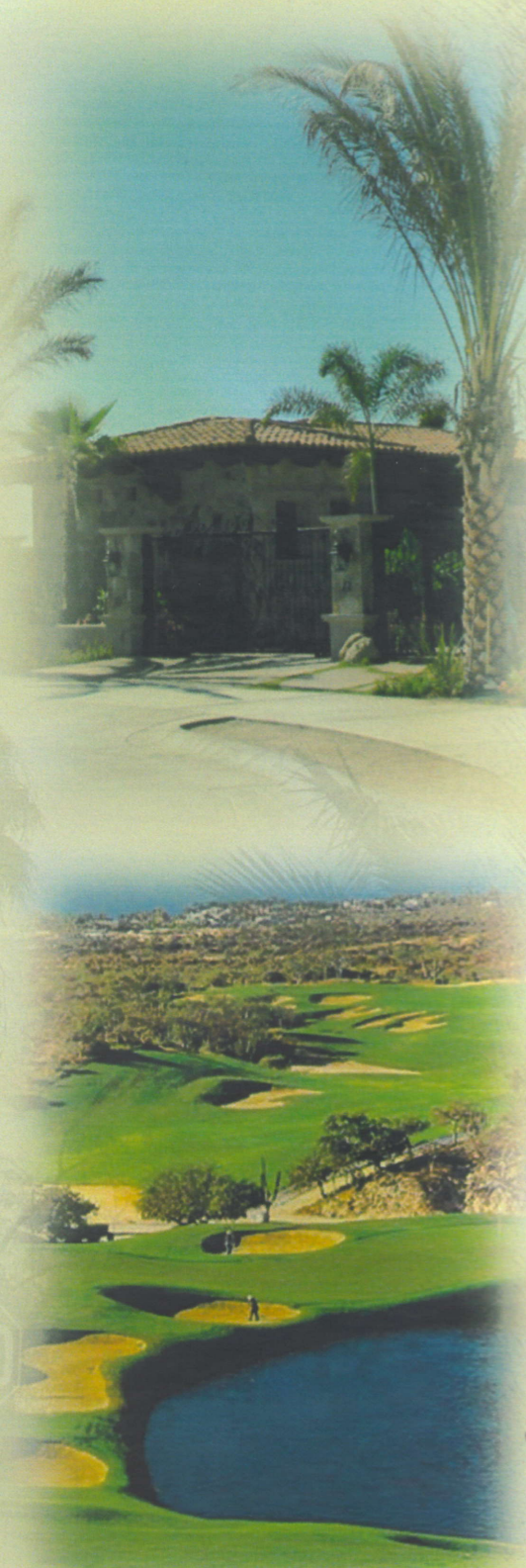
This book has been compiled to guide and illuminate the founding principles that will define Puerto Los Cabos. It is presented as a tool to cultivate a complete understanding of the Puerto Los Cabos Vision and to guide you through the design and construction of your resort home. It is our hope that the guide will contribute to both the fulfillment of our intentions and your own dreams. It has been developed in three sections:

Section I.- Design and Building Guidelines.
Addresses the planning, architecture and landscape issues critical to the design of your home. You and your architect should refer to this section for general design principles and specific requirements.

Section II.- Design Review Administration / Board (DRB).
Establishes the submission requirements necessary for review and approval of a design before construction can commence. The DRB will consist of an Architect, Engineer, and Landscape Architect.

Section III.- Builder and Contractor Standards.
Establishes the requirements and responsibilities of the homeowner and contractor during the construction phase of your home.

Throughout the Guidelines you will find detailed text, illustrations and photographs which exemplify highly desirable, prototypical executions of the style objective for this special place.



PUERTO LOS CABOS DESIGN GUIDELINES



Puerto Los Cabos Master Plan



Legend

- H - Existing Village
- TR - Residential
- TC - Mixed Use/Commercial/Residential/Hotels/Offices
- TS - Tourist Services (Commercial/Service/Maintenance Offices)
- TH - Resort Hotels (Hotels/Condominiums/Time Share/Resort Product)
- AV - Cultural and Ecological Park
- L - Lakes
- E - Transportation Centers/Parking



North

DESIGN AND BUILDING GUIDELINES

Section I

Design Philosophy

The design philosophy for Puerto Los Cabos is derived from two fundamental, but compelling ideas. First, the architecture will be directly responsive to the natural elements. Secondly, the design vocabulary will strive for beauty through simplicity. It will be an honest approach where design, materials, and construction methods avoid unnecessary complexities. By adhering to these simple ideas, you will see an architecture integrally linked to the physical and cultural environment, with an elegance born from brevity, clarity and craftsmanship.

Puerto Los Cabos is a coastal environment within a desert climate; accordingly, comfortable living environment must respond to the need for shade and protection from the summer sun while promoting a desire to enjoy outdoor spaces. Provide shelter from the occasional rains but offer a place to enjoy them and withstand the affects of a saltwater environment but embrace its rejuvenating qualities. Also offer protection from storms while providing serene refuge.

The architecture at Puerto Los Cabos will be defined by elements that address these issues:

- Patios/decks will provide space for leisurely outdoor living.
- Significant overhangs will provide shade.

vide shade.

- High ceilings and well organized plans will facilitate natural ventilation.

These elements need to be constructed from materials that are consistent with the local vernacular, which are logical for their appointed use and serviceable against climactic forces. Also important are the methods of construction, which will be skillfully crafted, yet simple. Simplicity in materials, design and ornamentation will mark Puerto Los Cabos. These ideas are further explained within this guide. Some fundamental material and compositional notions include:

- Restrained detailing
- Stucco finish
- Roof types
- Native stone walls and columns
- Decks and Patios
- Windows and doors with full trim and shutters
- Exposed wood beams and rafters
- Color schemes natural to the earth, ground and vegetation indigenous to the site.
- It is the intention of this guide to describe a philosophy that echoes the history and character of the region.
- This philosophy will preserve the richness and dignity that defines the region and celebrates the traditions of Puerto Los Cabos.



SITE PLANING

Building/Accessory Structure Setbacks

Prior to selecting a particular lot, the Owner should become familiar with the terrain, site features and the land plan. Each lot has a pre-defined building envelope, which has been established by the DRB due to individual lot criteria and circumstances. Please note these setbacks on the individual plat maps included. The building setbacks and envelope illustrations that follow graphically represent the placement of buildings and driveways. Individual lots will vary from the illustrations.

Setback criteria

Structures including porches, pergolas, trellises, chimneys, railings, and pools may not encroach beyond the set back lines specified for each particular lot. The set back dimensions are determined from the vertical face of structure, wall or railing to the property line. Only porch steps and /or eaves may encroach into any set back zone.

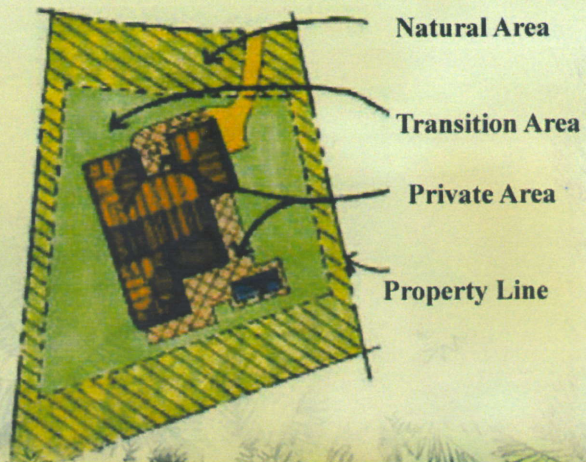
There will be general setback requirements which will differ between subdivisions, but will include:

- Side yard setbacks
- Front yard setbacks
- Rear yard setbacks
- See inserts for specific setback requirements
- Where two lots are joined for a single home, the side setbacks will be increased pertaining to the subdivision.
- Corner lots shall be deemed to have front yard setbacks off one street frontage, as defined by the DRB in consultation with owner and/or designer. Owners/designers may apply for a hardship variance with the DRB in exceptional circumstances. Each case will be considered on its individual merits and decisions will not set precedent for other buildings designs past, pending or future. Variances will be granted only if it is proven that the subject property cannot adequately conform to the current setbacks, or if conformance will cause substantial detriment to the community as a whole. Purchasers are cautioned to fully examine their proposed lot for ability to comply with setback requirements as part of normal due diligence involved with the purchase of real estate property.

Lot zones

Lot zones

The zone between the owner's property line and the setback line shall be referred to as the "Natural Area" and shall be maintained or revegetated into its natural state. The zone between the setback line and the building walls shall be referred to as the "Transitional Area". The landscaped zones adjacent to the building's front entrance, patios, front and rear shall be referred to as the "private areas". (See the Landscape Design Guidelines for further description and requirements).



SITE PLANING

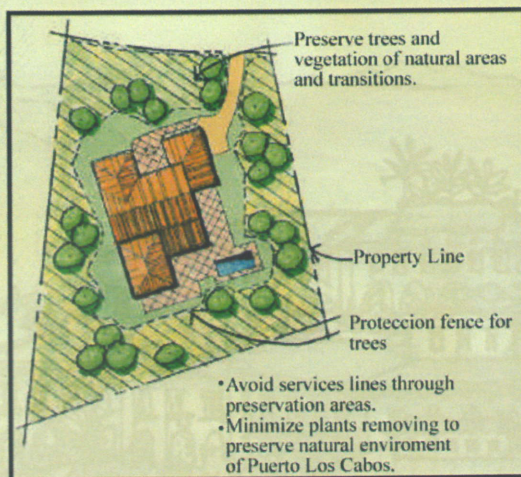
Site Clearing

Plant and tree recovery for site clearing is done by Puerto Los Cabos personnel only. Existing vegetation must be located, identified and protected. (See the Landscape Design Guidelines for further description).

Significant Specimen Vegetation is defined as all plant material listed as protected by the Government or has a caliper 7 cm or greater. Also to include all Garambullo, Viznaga, Viejitos and Pitaya dulce.

No trees and vegetation shall be removed which could cause disruption of natural water courses, erosion, loss of sediment or scar natural landforms.

Debris from site clearing work shall be disposed off site.



Building Heights

The intention of height restrictions is to encourage a massing of buildings that will minimize the visual impact of Puerto Los Cabos on the surrounding environment and maximize opportunities for each resident to capture the best possible vistas.

First story building heights generally may not exceed 5.0 meters with the second story maximum building height at 10 meters.

Enclosed or air conditioned space will not be allowed above the 10 meter plate height, however an open deck or walk is allowed as long as all components of the open deck or walk stay below the highest point of the roof.

Building height limits are measured from existing grade to the plate height of the highest roof and shall exclude chimneys, weathervanes and other similar decorative elements.



Square meters

The building shall mean areas contained under the roof, including air conditioned or non air conditioned space. This does not include open decks, patios, pergolas, trellised areas and overhangs. Total square meters of building allowed is noted on individual lot inserts.

Depending on the individual lots, a second story may be added but must be orientated in such a way as to minimize view obstruction from lots behind.

Each lot may be allowed one detached 1-story structure "service quarters" with a maximum 100 square meter foot print.



SITE PLANING

Finished floor Elevations/Site Grading

Site drainage and grading is to be designed to minimize grading, control erosion and sediment transport, and to preserve the natural vegetation and landscape. All drainage improvements are to avoid a "man-made" appearance and blend into the natural setting so as to appear as extensions of existing natural landforms.

Grading for structures are to follow the sloping topography. There will be no flat pad architecture permitted. (See typical architectural and grading solutions Pages 12-14)

Graded slopes are not to exceed 2:1, unless it can be demonstrated that a steeper slope will result in less disturbance to existing mature trees/vegetation and will not erode.

Whenever feasible, natural slopes are to be used rather than retaining structures. When structures provide the only feasible solution, they are to follow the natural contours of the land.

2 meter maximum retaining wall height.

All cut and fill slopes are to be revegetated with native plant materials and blended into the surrounding natural vegetation (See plant list Page 23)

All topsoil disturbed by grading operations is to be stockpiled within the construction site and reused as part of the landscape restoration plans

Site grading and drainage within each lot is to be designed by a qualified engineer or landscape architect and to be approved by the DRB.

Natural drainage courses must be protected and existing drainage patterns maintained wherever feasible

Increased water flow off individual lots will be managed to the greatest extent possible by natural systems that retain water and encourage percolation.

Man made drainage structures such as headwalls, retaining walls, ditches and similar drainage structures must be constructed from natural stone and are to be similar to other stone features that part of the public infrastructure within Puerto Los Cabos and to be approved by the DRB.



Headwalls design:

Headwalls uses natural stone
Metal tube ends are hidden
Stones must be placed in natural
pattern to blend with the site.

Drainage design:

Drainage uses natural materials
and follows existing topography

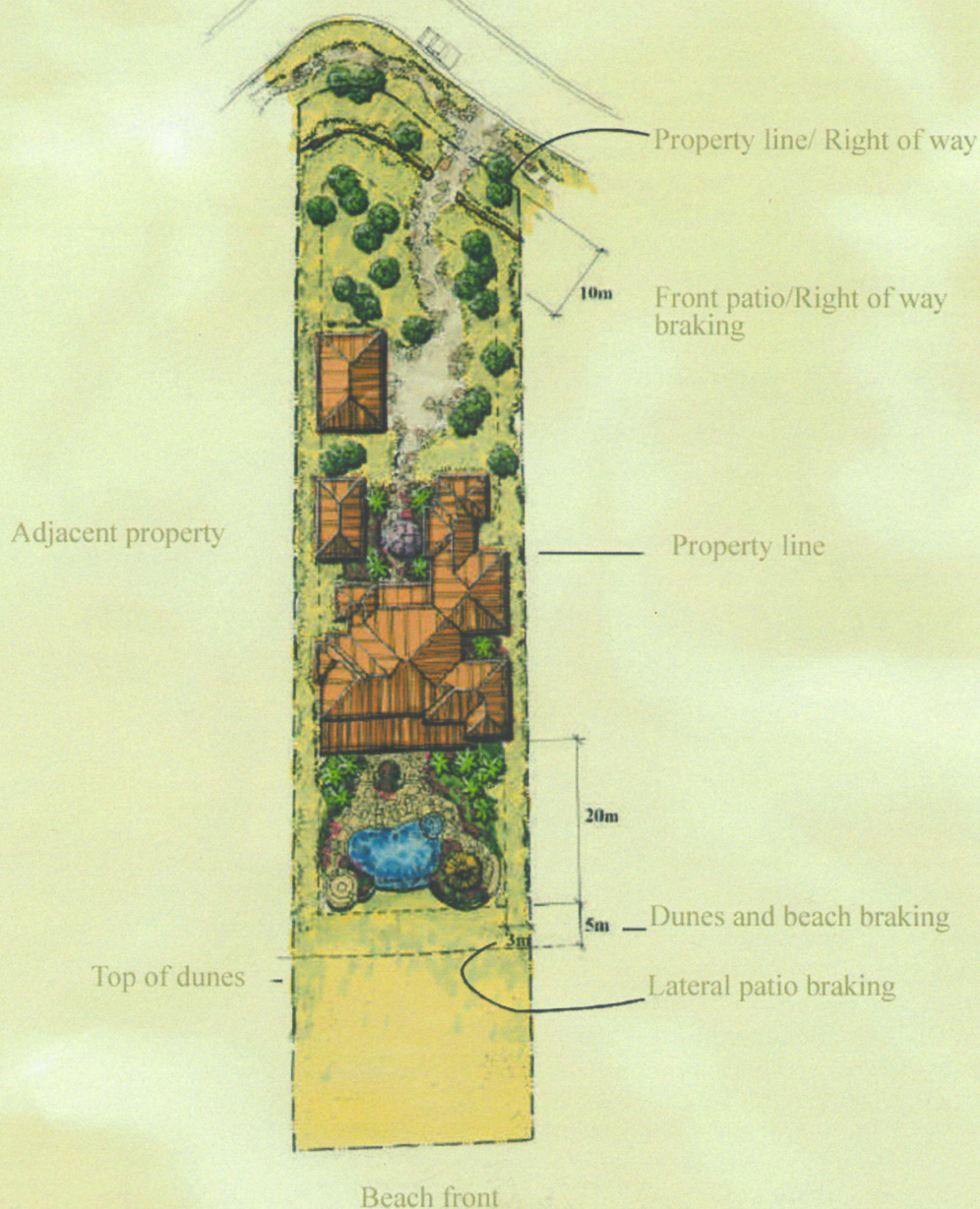


BEACH FRONT LOTS

Beach Front Lots

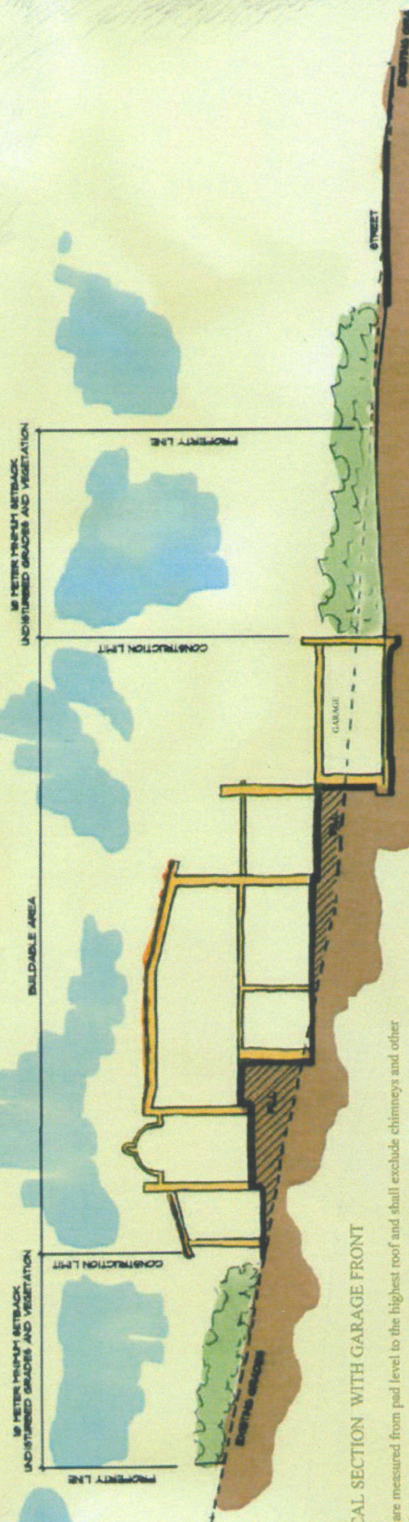
Lots 16-25 will be sold with set building pads to protect the environmental integrity of the dunes and to preserve the views from back lots.

Beach access: There will be three access points provided. Two within the arroyos between lots 6 & 7 and 15 & 16, and one at the beach club. There will be no personal access to the beach. This will protect the integrity of the dune and the vision of Puerto Los Cabos.



ESTATE VIEW LOTS

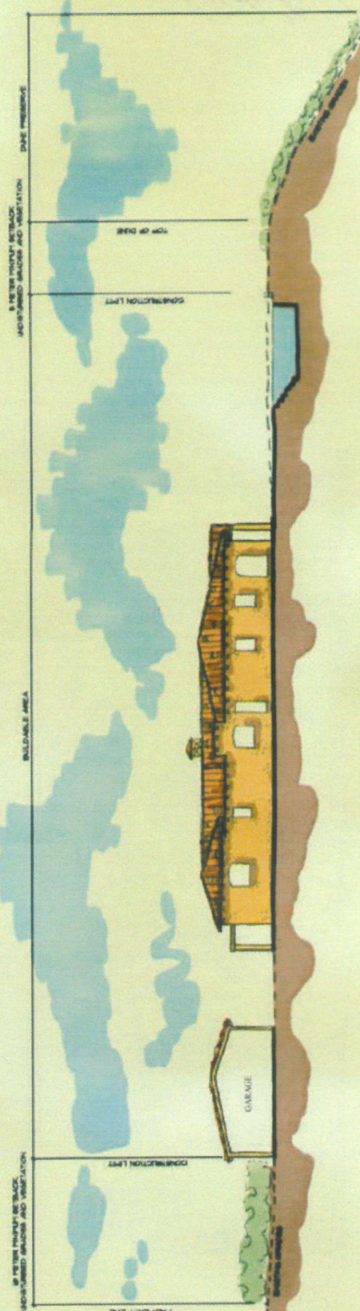




Section 3

TWO STORY TYPICAL SECTION WITH GARAGE FRONT

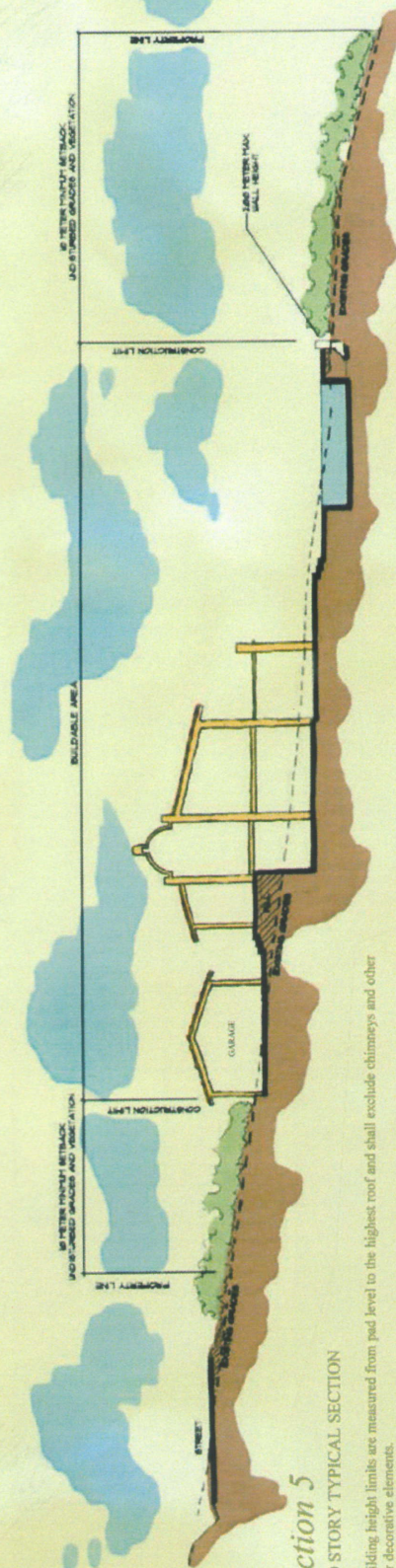
- Notes:
1. Building height limits are measured from pad level to the highest roof and shall exclude chimneys and other similar decorative elements.
 2. Accessory structures (garages, carports) are limited to one-story and the height limits 4.5 meters is measured from pad level.
 3. Rooftop patios should be used to gain grand views with minimal view impact to adjacent properties.



Section 4

BEACH FRONT TYPICAL SECTION

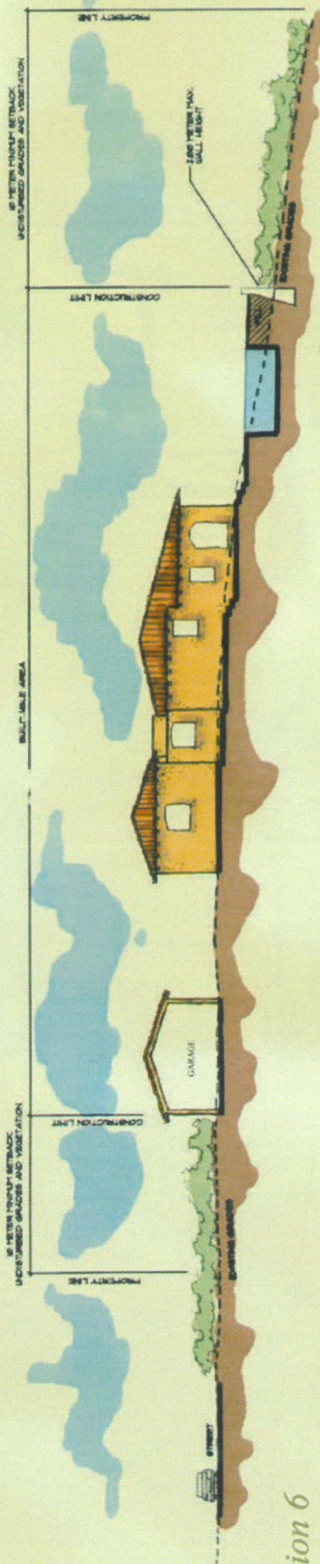
- Notes:
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Section 5

TWO STORY TYPICAL SECTION

- Notes:
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 3. Rooftop patios should be used to gain grand views with minimal view impact to adjacent properties.

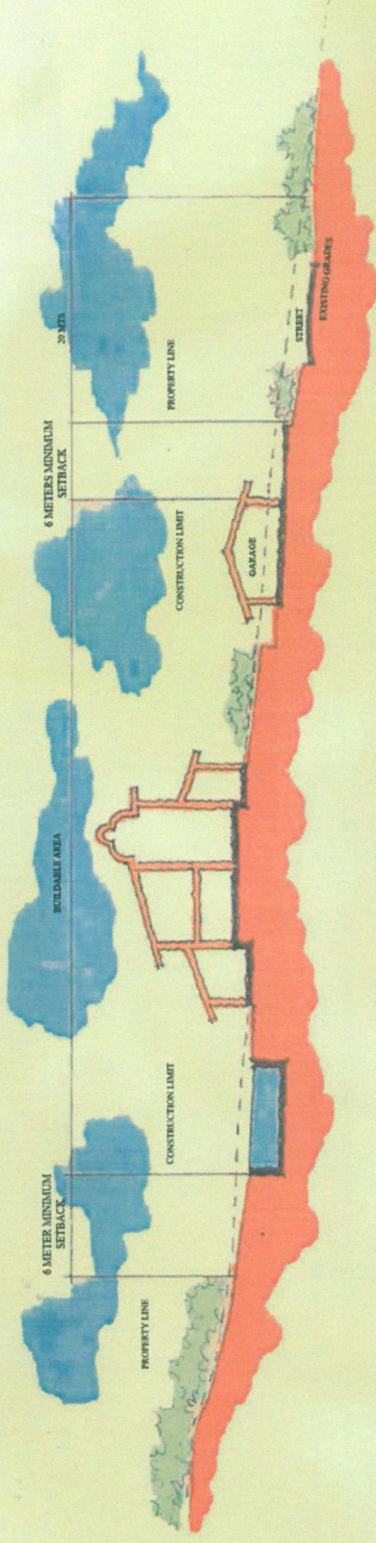


Section 6

ONE STORY AND SLOPE TYPICAL SECTION

FOR LOTS: (34, 35, 181, 190, 201, 212, 213, 218)

1. Building height limits are measured from pad level to the highest roof and shall exclude chimneys and other similar decorative elements.
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Section 7

ONE STORY AND SLOPE TYPICAL SECTION

FOR LOTS: (34, 35, 181, 190, 201, 212, 213, 218)

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3. Rooftop patios should be used to gain grand views with minimal view impact to adjacent properties.

ARCHITECTURAL ELEMENTS

The elements of composition are a response to the previously discussed Design Philosophy. Consistent application of harmonious elements is critical to ensure that each Puerto Los Cabos home strengthens and enhances the community. Primary elements of composition include:

- Foundations
- Rooftop Patios
- Doors, Windows & shutters
- Accessory Structures
- Walls
- Roofs
- Details

FOUNDATIONS AND WALLS

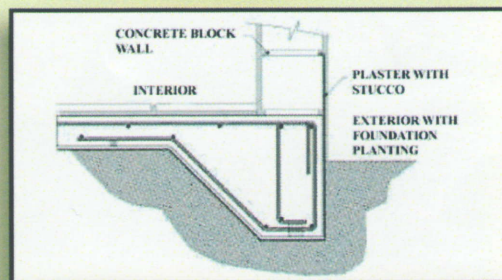
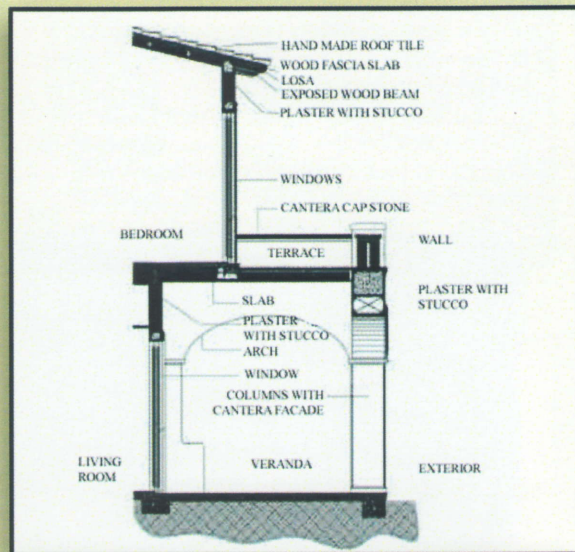
The architectural design throughout Puerto Los Cabos is based on simple poured concrete reinforced foundations, block construction, with two exterior treatments: stucco and native stone. Method of construction

The method of wall construction for these homes is block construction reinforced with rebar and concrete. This form of construction is simple in form true to the Hacienda vernacular and will withstand the demands of a coastal desert environment.

DETAILS AND EXAMPLES

Foundations and walls will be veneered with a native stone in a random pattern or a plaster/stucco solution. The simple use or combination of the siding material permitted, will allow

for a number of appropriate and unique designs to occur. The stone will be a local stone used in a random pattern and approved by the DRB. Plaster/stucco colors to be chosen from the color pallet on Page 21.



ROOFTOP PATIOS

Rooftop patios are an important part of the architecture of Puerto Los Cabos. These spaces allow for maximum views from the property but do not disrupt views from properties adjacent or behind. In conjunction with umbrellas or shade trellises, they provide the opportunity to capture grand views of the Sea of Cortez, and enjoy the cool breezes while protected from the desert sun.

Please note that the Design Review Board approves Roof Top patios on a case by case basis given the importance of preserving the views from other properties.



Rooftop patio with umbrella.



Rooftop patio.



Rooftop patio with trellis.

ROOFTOP PATIO



WINDOWS, DOORS AND SHUTTERS

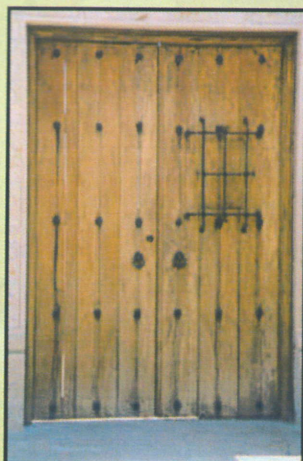
Materials

Wood frame windows are strongly suggested as are the use of decorative wood and/or glass paneled doors. Aluminum frames may be used in a limited capacity and not on the street side of the home. Cantera stone is also strongly suggested as an architectural accent around windows and doors along the front rear of the home.

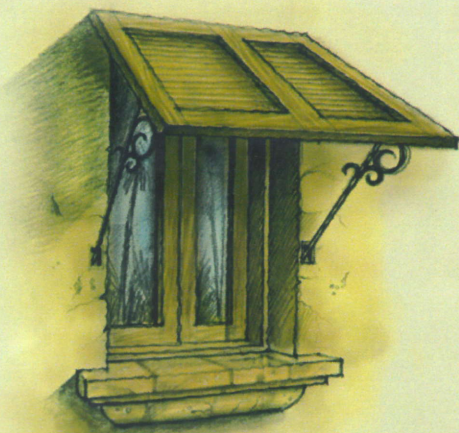
Colors

Window trim and shutters are to be a natural dark-wood, stained to accent the true richness of the material. Samples will be provided at the sales center. Details and Examples

- Front doors should make a strong architectural statement. Wood or glass exterior doors are recommended to exceed a height of 2.15 meters. The use of double front entry doors or doors enhanced with wood or stone columns are encouraged. Sliding patio doors are not permitted where they are visible from the street door entrance.
- Security may be added to the windows and doors but will be done from a limited pallet of simply detailed wrought iron systems.
- Hurricane protection must be a role type system in a non reflective finish in a color matching the main body of the home.



WINDOWS, DOORS AND SHUTTERS



TEJADOS

The practical intention of the roof is to provide protection from the elements. Complementing the practical components of the roof is the nature of the craftsmanship that goes into the aesthetics of the design. Such protection and aesthetics are defined as follows:

Materials

Roof materials are limited to a hand crafted clay barrel tile.

Colors

Roof colors will be limited to the natural colors of the clay tile, in which will all be subjected to DRB approval.

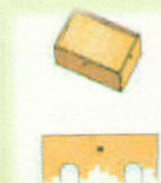
Details and Examples

- Roofs may have a minimum slope of 25% and a maximum slope of 30%.
- Note illustrations for typical roof styles: hip, compound hip, shed and flat roofs may be used but cannot exceed 30% of the total roof.
- Domes may be used but the maximum peak of the dome cannot exceed the roof peak. The Linternilla may exceed the peak by 60 cm maximum and the color of the dome must match the main body of the home and chosen from the approved color palette.
- The use of solar energy producing devices (active and passive) and personal satellite dishes are entirely subject to DRB approval, and in all cases must be completely hidden from view from the street and adjacent properties.

Methods of Construction

Roof overhangs are an essential part of the home. Typical roof overhangs should be 60 cm from the face of the home. Although overhangs should be maximized wherever possible to incorporate balconies, decks, and porches, which provide shelter from the sun and occasional rain.

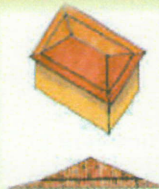
The detailing of these overhangs should allow for a clear understanding of the nature of the craftsmanship and use of material, such as simply profiled exposed rafter tail and roof structure.



FLAT ROOF



HIP ROOF



COMPOUND HIP

HANDMADE ROOF TILE

WOOD FASCIA

SLAB

WOOD BEAM

PLASTER WITH STUCCO

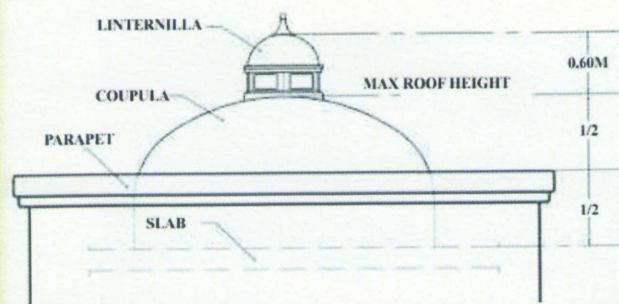
TYPICAL ROOF ASSEMBLY



BARREL TILE EXPOSED BEAMS



HAND CRAFTED CLAY BARREL TILE



DOMES

ACCESORY STRUCTURES

Garages & Carports

Structures Associated with the automobile will be detached unless under the house. The character of these structures shall be commensurate with the main house and connected to the house with a porch or breezeway. Such structures are limited to one story and may be incorporated with the 100 square meter service quarters. These structures may be enclosed or open, but cannot face the street.

Out buildings: Palapas & Cabanas

Gazebos and cabanas serve as areas of leisure allowing residents a place to read, meditate or relax while breezes and shade help to insure comfort. These structures shall be detailed similar to the porches of the main house.

Service Quarters

These attached or detached structures are to serve as living quarters for service help. These structures shall be designed and detailed commensurate with the main house.

Miscellaneous Equipment Screening

Compressors, meters, satellite dishes and miscellaneous equipment shall be grouped and screened to minimize the impact on neighbors and the community. Screens can be comprised of either landscaping or approved fence and wall details. (See page 24)

If additional power is needed it will be placed in the approved location within the right of way and contained and screened by the approved typical wall and landscaping. All plans must be submitted along with the architectural plans and approved by the DRB.



Cabanas/Palapas



Examples of garages and car entries



DETAILS

The details at Puerto Los Cabos will ultimately define this architecture. While specific elements of composition were addressed earlier, this section focuses on the little extras that give the resort its distinction.

Columns

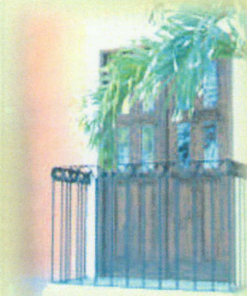
Columns should be strong yet simple in detail and constructed from cantera stone, natural stone in a random pattern with stone joints, monolithic wood or block with plaster and stucco finish with a color chosen and approved by the DRB.

Railings

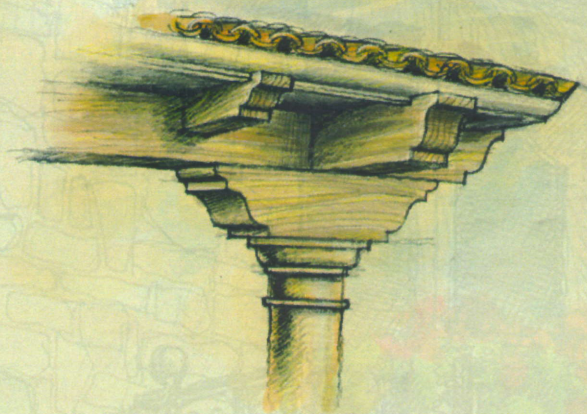
Deck railings, fencing, gates and window and door protection devices should all be simple detailed and constructed from wrought iron. All iron work must be consistent throughout the individual property.

Chimneys

Chimneys shall be comparable to the main structure of the home and finished either with natural stone or, or plaster and stucco, which the color must match the main body of the home. The chimney may not exceed 1 meter above the peak of the roof line.



DETAILS



COLOR INFORMATION

Introduction

The color Palette for Puerto Los Cabos will be common and familiar as the style of architecture. Composition of the color pallet is derived from the earth and vegetation indigenous to the site. The naturally occurring colors of the surrounding environment have a tendency to be lightly saturated with a muted or grayed patina due to constant exposure to the climate. The examples below represent a color philosophy that will harmonize the honest architectural expression of the homes with the soft, naturally occurring hues of the surrounding environment.

Application

The colors are organized into two categories: base colors and accent colors. The color philosophy for the home is to contrast the body of the home with specific architectural elements of the home. Using the light base colors on the body of the home and using the accent colors in a limited application to highlight special details of the architecture such as coupolas, corner details, columns and railings.

Body- refers to the main exterior stucco walls of the home.

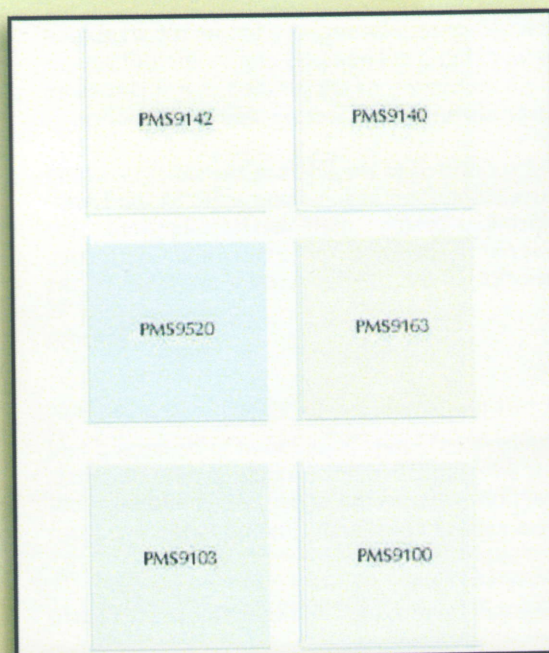
Trim- Wooden trim will not be painted. It will only be stained and treated in such a way to protect and bring out the natural beauty, color and grain of the material.

We offer the following color matrix as a general guide to the application of exterior color to your Puerto Los Cabos home. The selections provided here are meant to summarize a range of colors to select from. Other color selections not shown in the matrix may be used with prior approval of the Design Review Board.

Please note that the printing techniques used to print this "Design Guidelines" booklet cannot accurately reproduce the true color samples. Actual color chips are available for your review and selection in the Puerto Los Cabos Sales Center.

Final specified colors may be either color-matched to an approved brand of exterior paint, or an alternate color may be selected with prior approval from the DRB. All samples shown here are from the Pantone Pastel Palette.

Base Palette



Accent Palette



LANDSCAPE GUIDELINES

Introduction

The goal of the Design Review Board is to promote the sensitive enhancement of the environment by encouraging an on-going planting program that has a natural theme, to minimize disturbance of the existing ecological systems and to preserve the site's unique vegetation. To this end, owners and their designers are strongly encouraged to retain as much of the existing vegetation on their site as possible. (See page 23 for plant list)

Professional consultants

To ensure the natural character of the existing and proposed landscape, a landscape designer will be useful to assist the owner in the design of the property. With the objective of preserving as much vegetation as possible, and in order to comply with the Environmental Protection Agency (PROFEPA), Puerto Los Cabos performs the lot clearing duties.

The plants removed will be inventoried and replanted in a reservoir land. These plants will be properly irrigated and returned to the owner when required. The costs of plant removal vary depending on lot size, amount of plants, and other conditions. For additional details, please refer to section III of this document.

Submittal Requirements

A comprehensive landscape plan and plant list will be required for all proposed home site construction projects. This will ensure that the unique elements that create the visual appeal of the community are preserved and enhanced, and that any proposed vegetative improvements remain consistent for the benefit of all. The DRB reserves the right to approve or disapprove any such submission, and may at its sole discretion, make suggestions or require modifications which may be appropriate to bring the proposed landscape plan into compliance with the Design Guidelines.

The DRB, may require a minimum of five percent of the total estimated construction cost and lot value to be applied toward the landscaping (excluding any automatic irrigation systems) to insure a mature appearance following installation. The DRB retains the right to increase landscape expenditures, at its discretion, to a maximum of ten percent. For this reason, the protection and retention of existing vegetation during site clearing and construction is mandatory.

The Landscape Plan shall be prepared and submitted to the DRB at the same time and approved concurrently with building plans. An irrigation Plan at the same scale as the Landscape Plan, showing the layout of an automatic sprinkler system, shall also be submitted. Two copies of the landscape documents shall be delivered to the DRB for review and comments. No installation work may commence prior to receipt of the DRB's written approval of the landscape documents.

Design Requirements

Design Intent

The general landscape design theme for Puerto Los Cabos is intended to be natural and informal, using sufficient plant material to present an established appearance at time of installation. The goal is to achieve a harmonious connection between the house, street and adjacent lots with the use of native plant material, to create a natural consistent flowing landscape from one lot to another.

Street Frontage/Right-of-Way Landscaping

Within the 5 meter Right-of-Way, landscaping will be provided and maintained by Puerto Los Cabos through your monthly maintenance fee.

Planting requirements

Each lot within the community is made up of three major landscape zones: Natural Areas, Transitional Areas, and Private Areas as described in the site Planning section of this document.

The Natural Areas are the areas outside the building envelope. These areas shall remain undisturbed or shall be revegetated into their natural state. No statues, sculptures, depictions or artifacts will be permitted in the Natural or Transitional Areas.

The Transitional Areas, adjacent to the natural edges, will be limited to the selected native specimen trees, shrubs and ground covers to harmonize with the existing native plant materials and to stabilize the soil for erosion control.

The private areas around the home shall include plant material selected from the Approved Plant List. Seasonal annual beds and turf are only acceptable for use within enclosed Private areas. This includes courtyards but does not include Transitional Areas that are not enclosed. Seasonal Annuals may also be used within pots or containers as accents. Exception: native annual species indicated on the Approved Plant List are acceptable for use in Transitional Areas. The addition of any plants not found in the Approved Plant list requires approval by the DRB for plant type and proposed location. Removal of plants and other landscaping on any lot is subject to the review of the DRB. Because it is difficult to list every acceptable plant material, the DRB will consider other plant materials upon request. The DRB reserves the right to refuse any plant material that, at its discretion, will not be compatible with the Puerto Los Cabos community image or is not beneficial to the environment.

The home Owner shall be responsible for providing full landscaping in all areas within a period of 90 days from completion of home construction.

Plant List

Trees

Bursera hindsiana
Bursera microphylla
Cercidium peninsulare
Cyrtocarpa edulis
Ferocactus diguetii
Lysiloma candida
Pachycereus

Torote prieto
Torote colorado
Palo verde
Ciruelo
Biznaga
Palo blanco
Cardón

Palms

Cocos nucifera 'Maypan'
Phoenix dactylifera
Washingtonia robusta
Washingtonia filifera

Cocotera de Maypan
Datilera
Palma Blanca
Palma de Abanico

Shrubs

Agave deserti
Agave sobria
Atriplex californica
Cochemia poselgeri
Echinocereus pacificus
Ferocactus peninsulæ
Ferocactus diguetii
Fouquieria splendens
Lemaireocereus thurberi
Lophocereus schottii
Mammillaria tetrandra
Nerium oleander
Opuntia acanthocarpa
Opuntia basilaris

Magüey
Lechuguilla
Chamizo
Biznaguita
Pitayita
Biznaga
Biznaga
Ocotillo
Pitaya Dulce
Garambullo
Viejita
Oleander
Cholla
Nopal

Shrubs

Pachycereus pecten
Yucca spp.

Cardón-Barbón
Yuca Desértica

Ground Cover

Abronia spp.
Bougainvillea spectabilis
Eschscholzia californica
Juncus acutus Lantan spp.
Uniola paniculata Natural
Pastos

Alfombra
Buganvillea Roja
Amapola Amarilla
Junco
Lantana
Araña

Vines

Antigonon leptopus
Jacquemontia abutilioides

San Miguel
Campanilla

Irrigation

All elements of irrigation systems should be designed to minimize water usage through xeriscape practices.

- All landscape plantings shall be maintained by a fully automatic underground watering system.
- When using sprinklers, care should be taken to avoid overspray on patios, sidewalks, streets and driveways, "hardscapes", structures, windows, and adjacent properties.
- Native vegetation does not require additional water, therefore, irrigation of Natural Areas is not permitted (unless needed to establish restored areas as approved by the DRB).
- Mature trees that have been transplanted require irrigation for three to five years until established. The irrigation watering schedule must be decreased over a two to three year period to condition the plant to a naturally occurring watering schedule.





- Other small native materials may be irrigated for a year or until established.
- It is critical that irrigation systems be monitored to avoid over watering.
- A qualified landscape architect or horticulturist should assist with seasonal requirements for the plant materials and provide an irrigation schedule.
- It is encouraged that landscape irrigation installation be completed on the same schedule as home construction.

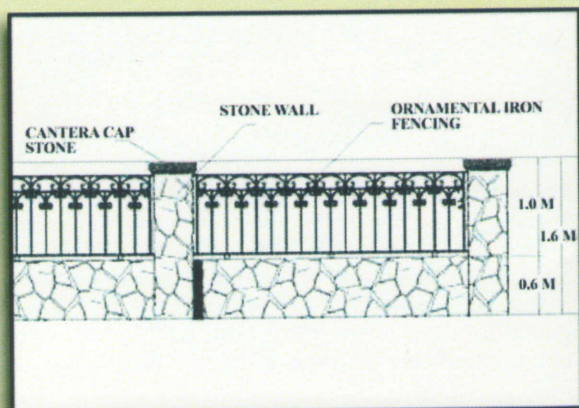
Walls & Gates

Walls and gates extending from the architecture of the building to enclose outdoor rooms such as patios or courtyards or to screen utilities, may be up to 2.4 meters in height, and shall be compatible with that of the main structure's architecture and materials (stucco or stone).

Free standing walls may be built within the transition zone, but are not to exceed 1.4 meters in height (60 cm solid wall and 80 cm wrought iron). These walls may be constructed from local natural stone with stone joints and approved wrought iron fencing. Columns associated with these walls must be constructed with the same material but may be capped with a cantera stone but may not exceed a total height of 1.6 meters.

Entrance walls and gates will be permitted as well, but will be a standard design uniform throughout Puerto Los Cabos. Deviations in detailing will be permitted with prior approval from the DRB.

Gates are permitted only as a component of an approved wall, and will not be approved outside the Transition Area and may be constructed from wood or wrought iron. (See illustrations for suitable examples)



Stone wall detail



Stone wall with iron fencing

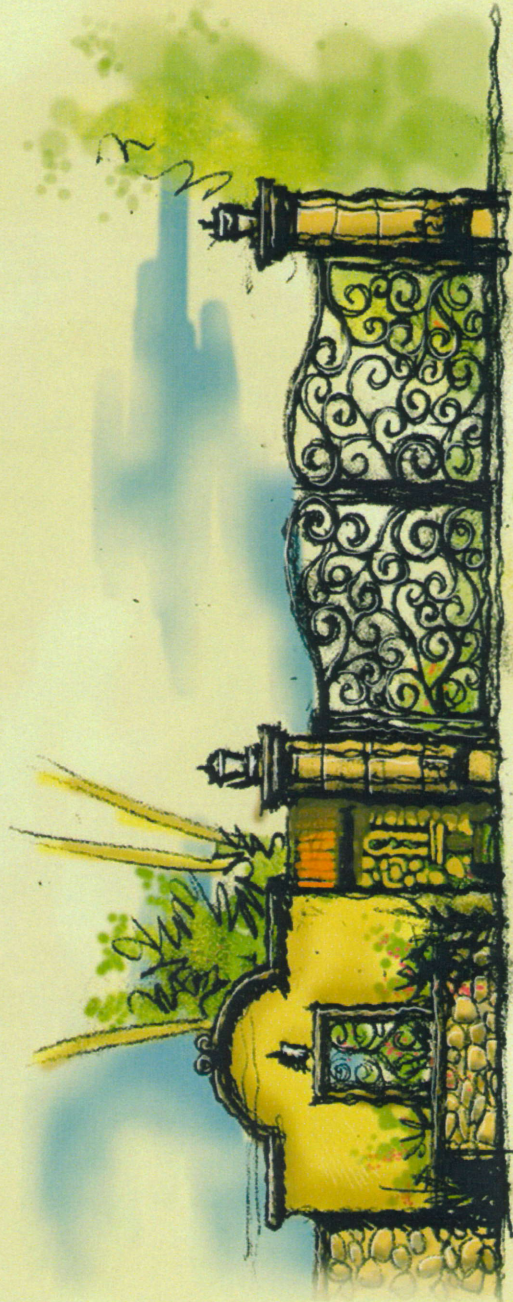
PUERTO LOS CABOS DESIGN GUIDELINES



ENTRY WALLS FEATURES



ENTRY WALLS FEATURES

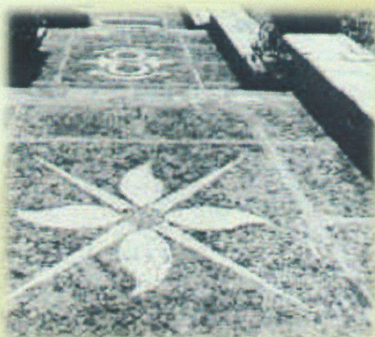
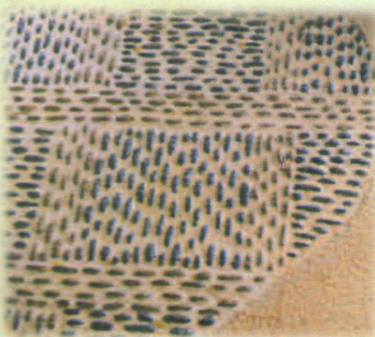


ENTRY WALLS FEATURES



Driveways & Walkways

Driveway widths should be a maximum of 3 meters in width except for the arrival courtyard. Driveway entries should be from near the edge of the side property line. Drive and walk surfaces shall be natural stone laid in a random pattern to match walls and architecture.



Exterior lighting

Exterior lighting may be provided for safety and security. Recessed or down lighting, and vertical landscape lighting are acceptable; however, flood lights are prohibited.

No lighting should be located as to interfere with vehicular traffic or become a nuisance to neighbors by adversely affecting the night time environment of adjacent properties. The DRB will approve all post mounted and building mounted fixtures which are visible from other properties.

Lights associated with walls may only be placed on the entrance columns.

At no time shall fluorescent lighting be approved.

Two sets of Lighting Plans shall be submitted along with the building, landscaping and irrigation plans for review and approval of the DRB. The lighting plan shall be a plan view drawing showing the location of all exterior lighting fixtures. Distinctive and clearly marked symbols shall be utilized to show the location of each type of proposed fixtures. The plan shall include a table with the following column headings:

| Symbol | Fixture Name or Stock Number | Total Number of Each Fixture | Bulb Wattage and Type (e.g. 40 Watt Yellow "bug" Lamp) | Type of Mount (e.g., Wall, Pole, Bollard) | Mounting Heights |
|--------|------------------------------|------------------------------|--|---|------------------|
|--------|------------------------------|------------------------------|--|---|------------------|

A specification and detailed description for each fixture shall be included with the plans.



Accent Lights



Bellow Grade Accent Lights



Path Lights

Section II

DESIGN REVIEW PROCESS

DESIGN REVIEW PROCESS

The following is an outline of the procedures for plan submissions for single-family detached homes. All plans are to be submitted to the Design Review Board for Review and must be approved by the DRB (See page 20 for DRB details)

Once approved, applications are valid for one year from date of approval. After one year, applications expire and become invalid. If the applicant wishes to proceed with the project after the application expiry date, the applicant must apply for a new approval. (Please refer to the Design Review Application).

PROFESSIONAL CONSULTANTS

To ensure the architectural quality and integrity of the Puerto Los Cabos Community, an architect will be required to assist the owner in the design of the property. All submissions must be signed and sealed by the designing architect. A professionally registered architect of your choice may be used for submittal to the DRB, but for final approval to the municipality the plans must be approved by a Baja Sur registered architect.

PRELIMINARY PLANS

At the discretion of the applicant, a schematic or design concept may be submitted to the DRB in order to determine suitability of a particular design for Puerto Los Cabos. Preliminary Plan submission is mandatory to resolve potential problems before going to the time and expense of preparing complete construction documents. Preliminary plans shall include, but need not to be limited to:



- Application form
- A site plan at 1:100 or other suitable scale showing all trees with a caliper greater than 10 cm at a height greater than 50 cm above grade, all grades, horizontal and vertical improvements with pertinent dimensions, setbacks, easements, etc.
- Floor plans, which may be shown on the site plan.
- All elevations that define the exterior.
- A list of materials and their locations
- Application Fee US\$3,500

The DRB or their designated representative will render an opinion whether the preliminary submittal is acceptable. The opinion will be strictly non-binding and will be offered in an effort to save the applicant time and expense.

FINAL SUBMISSION

Two sets of architectural and landscape site plans and specifications signed and sealed by registered architects are required in order for the DRB to consider approval or disapproval. This provides a systematic and uniform review of the proposed construction for all applicants. Plans and specifications shall be completed and detailed to the point that all significant aspects of construction are clearly identified and understandable by construction professionals. As a minimum, the Final Submission drawings shall include:

1. Site plans

The drawing scale should not be less than 1:100. The plans should include:

- Access street(s) and walkway(s) drives and other exterior improvements, including material and color.





- A grading and drainage plan, including on-site retention areas if required.
- A fill plan, if any (indicating run-off and a tree preservation method)
- All culverts (location and size and flow direction)
- A foundation plan
- An exterior lighting plan (see page 25 for lighting requirements and specifications)
- Service yards and /or contractor lay down areas.
- Locate all utility service entry points to the site – water electric, communications/media, etc.
- A tree survey showing the location and species of trees four inches or larger in diameter at a point four feet above ground.
- A building plan to scale, overlaid on the tree survey identifying all structures and other improvements to be included in the scheme with an indication of trees to remain and trees to be removed (at the same scale as the boundary/tree survey)
- The location and identity of special features (e.g. drainage ditches, dunes, adjacent structures, etc.).
- Mechanical equipment showing location and screening details- AC compressors, LP gas tanks, and water meters.
- All visible mechanical electrical and plumbing components shall be shown in the site plan, floor plan and the relevant exterior elevations.
- Location of contractor ID sign and outdoor toilet facility.

2. Floor plans

In an appropriate scale no less than 1:50 that shows detail including an exact computation of the stated square footage (by floor in the case of the multi-floored residences) and finished floor elevations.

3. Roof plans

In an appropriate size to show detail

4. Foundation plans

In an appropriate size to show detail

5. Building elevations

Depicting all sides of the building(s) including hidden views. The elevations should indicate:

- The existing and finished grade
- The total building height

- The relevant plate heights with respect to maximum allowable heights set forth by lot location
- The exterior treatment (including all materials, door and window fenestration, walls, free standing walls, and fences, etc)

6. Typical Wall and Binding Sections

Depicting:

- Materials
- Roof Pitch
- Fences, screens, exterior walls, etc.

7. Details

- Depicting:
- Design features and other improvements requiring clarifications.
- Fascia and trim details
- Doors and windows
- Patios, Decks, Balconies, Verandas, Porches, etc.

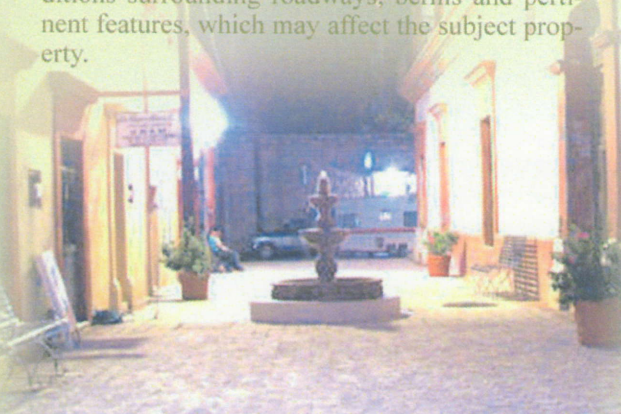
8. Exterior Lighting

Details with product photos (see page 25)

9. Landscape Plan

10. At the same scale as the site plan, including:

- (a) The boundary: Indicate all perimeter property lines, setbacks, dedicated easements and north arrow
- (b) Structures: Position all structures on the property and indicate the location of all windows, doors and permanent construction elements which are proposed
- (c) Perimeter Areas: Reflect all adjacent site conditions surrounding roadways, berms and pertinent features, which may affect the subject property.



(d)Hardscape: Indicate all proposed vehicular and pedestrian circulation treatments, swimming pool location configuration and statutory safety arrangements, miscellaneous amenity elements, garden features and permanent site furnishings which may affect the use of the site.

(e)Utility elements: Show all air conditioner equipment locations, exposed utility meters, garbage areas, LP gas tanks, pool equipment and any service or utility elements which may require landscape treatment or buffer screening.

(f)Decorative Grading: Indicate general existing grades and all proposed decorative grading (earth berming) at one foot (50 cm) intervals.

(g)Existing vegetation: based on the current tree survey, accurately identify and locate all vegetation listed as protected by the Government or significant vegetation with a caliper 7cm or greater. A vegetation protection and relocation plan clearly showing all plans intended to be removed, relocated and protected will need to be submitted at the same scale as the site plan.

(h)Proposed Vegetation: Provide a comprehensive landscape layout for all trees, palms, shrubs, ground covers, vines, and sod which are proposed throughout the site.

(i) Street Tree Location.

(j) Plant List: Identify all proposed vegetation with a plant list that reflects the scientific and accepted common name; height, spread, caliper, or size at time of installation as well as any necessary remarks which may be required to clearly portray the technical needs for design review, and/or final installation purposes.

10. Construction schedule

The schedule must outline the complete building process from initial staking to occupation to include DRB mandatory inspections:

Final Stake Out- Concurrent with final submission, the owner or contractor will provide a string stakeout of the lot lines and building lines for review by the DRB, if required. All trees to be removed must be clearly indicated.

Pad Elevation - Once the building pad has been graded and set and prior to continuing with the digging of the foundation, it will need to be approved by the DRB.

Foundation and Footprint - After completion of the foundation being poured and laid, but prior to the finish floor being poured, it will be required for DRB approval to continue.

Finish Floor - Once the finish floor has been poured, the DRB will check the elevations prior to continuing.

BUILDING PERMIT

Upon approval by the DRB of all necessary plans, as required, the owner and or architect may then submit them to the municipality for a building permit.

CONSTRUCTION START

Upon receipt of the DRB approval and the county building permit, the owner may commence construction subject to the construction conditions set forth in Section Three of this document. The DRB reserves the right to enter and inspect the lot for compliance during any stage of construction.

SURVEY/CERTIFICATE OF OCCUPANCY/COMPLIANCE DEPOSIT

Upon completion of construction, the following will be submitted to the DRB:

- Final survey certificate by surveyor.
- As-built set of drawings
- Certificate of Occupancy by the municipalities.
- A set of photographs depicting the entire completed project

Upon certification by the DRB that all improvements have satisfied the Design Guidelines, the DRB will issue a final approval. No residence within Puerto Los Cabos may be occupied by any person until a final approval is issued by the DRB, and a Certificate of Occupancy is issued by the county. Upon final approval, the DRB will return the appropriate compliance deposit.

DESIGN REVIEW BOARD

PURPOSE

The Design Review Board (DRB) and the review process have been established to define aesthetic standards for the design and construction of Puerto Los Cabos, and to examine, approve or disapprove any and all proposed or modified improvements for building sites.

OBJECTIVES

Architectural and design review shall focus on, but not be limited to, the following objectives:

To prevent excessive or unsightly grading, indiscriminate earth moving or clearing of property, removal of trees and vegetation which could cause disruption of natural water courses or scar natural land forms.

To ensure that the location and configuration of the proposed improvements are visually harmonious with the terrain and do not unnecessarily block scenic views from existing structures or tend to dominate any general development or natural landscape.

To ensure that the architectural design of proposed improvements and their materials and colors visually enhance the overall appearance of Puerto Los Cabos.

To ensure that the plans for landscaping provide visually pleasing settings for structures on the same lot, on adjoining or near by lots, and blend harmoniously with the natural landscape.

To ensure that any proposed improvements comply with the provisions of these guidelines and the covenants and restrictions set forth in the applicable declarations.



To promote building design and construction techniques that improve energy consumption and environmental consideration such as heat loss, air emissions, and run-off water quality.

ENFORCEMENT POWERS

(1) As part of the approval process, the DRB reserves the right to enter the site and inspect the proposed improvements to assure compliance with the approved plans and specifications.

(2) If any proposed improvements are made without the approval of the DRB, or are not in compliance with the approved plans and specifications, then the owner shall upon written demand, cause the proposed improvements to be removed or restored within ten (10) days from the date of the written demand to their original conditions, or their depiction in approved plans and such owner shall bear all costs and expenses of such restoration or removal, including costs and reasonable attorney's fees of the DRB.

(3) If the owner has not removed or restored or commenced to remove or restore the unapproved proposed improvements within the period set forth in subparagraph 2 hereof, the DRB shall have the right to institute an action to recover sums due for damages or to seek injunctive relief to require the owner to cease, remove or restore the unapproved proposed improvements. It is hereby declared that any violation of the requirements, set forth herein may not be adequately compensated by recovery of damages and, accordingly, the DRB on behalf of the Association, may seek an injunction to restrain a violation breach or threatened violation or breach.

(4) In addition to the foregoing, the DRB may enforce the provisions hereof in accordance with the compliance deposit hereinafter set forth.

All the remedies set forth herein are cumulative. No delay, failure or omission on the part of the DRB in exercising any right, power, or remedy herein provided shall be construed as an acquiescence thereto or a waiver of the right to enforce its rights powers or remedies.

No right of action shall accrue nor shall any action be brought or maintained by anyone whatsoever against the DRB, the Association, declarant or any owner on account of any failure to bring any action on account of any violation or breach of the provisions of these Design Guidelines.

In all enforcement actions, the prevailing party shall be entitled to be reimbursed for its attorney's fees prior to or at any trial or on appeal, and all reasonable court costs.

BASIS FOR DECISION

Approval shall be granted or denied by the DRB based on the standards and guidelines promulgated by the DRB from time-to-time, including:

- Compliance with the provisions of these Design Guidelines;
- The quality of workmanship and materials;
- The harmony of the external design with the surrounding community;
- The effect of the construction on the appearance from surrounding properties; and,
- Such other factors including purely aesthetic considerations, which in the sole opinion of the DRB shall affect the desirability or suitability of the construction.

LIMITATIONS OF RESPONSIBILITY

The primary goal of the DRB is to review the application, plans, materials, and samples submitted to determine if the proposed structure conforms in appearance with the Design Guidelines. The DRB does not assume responsibility for the following:

- Structural adequacy, capacity, or safety features of the proposed structure.
- Soil conditions or erosion requirements.
- Compliance with all building codes, safety requirements, governmental laws, regulations, or ordinances.
- Performance or quality of work by any contractor.

- Any owner making, or causing to be made, any proposed improvement, agrees and shall be deemed to have agreed, for such owner and his heirs, personal representatives, successors and assigns to hold the DRB, Puerto Los Cabos, and all other owners harmless from any liability, damage of property and form expenses arising from the construction and installation of any proposed improvements or in any way relating to the subject matter of any such reviews, acceptances, inspections, permissions, consents or required approvals, whether given, granted or withheld, and such owner shall be solely responsible for the maintenance, repair, and insurance of any proposed improvement and for assuring that the proposed improvements is in full compliance with all local, state and federal laws, rules and regulations.

MEMBERSHIP

The DRB shall be appointed by the Declarant or its assignees and shall have the duties and function described in the Declaration. The DRB shall consist of a minimum of three (3) members who need not to be members of Puerto Los Cabos. The Developer shall appoint at least one (1) architect or building contractor to such board.

ADMINISTRATOR

The DRB may appoint an Administrator to handle the day to day responsibilities of processing submissions and coordinating with owners, including the following:

- Explanation and interpretation of Design Guidelines.



- Providing pre-design conferences to consider existing data relating to a particular home site, adjacent or planned homes, easements, setbacks, etc.
- Scheduling of all meetings and member notification.
- Review job progress, schedule DRB inspections, and issue applicable DRB permits and certification

MEETINGS

The DRB will conduct regular meetings. Special meetings may be called by the Administrator with two (2) days written notification of time, date and place.

Anyone wishing to appear before the DRB in conjunction with the construction application shall notify the DRB Administrator and request to appear. All appearances before the DRB shall be limited to fifteen (15) minutes. It is preferred that the architect make such presentations due to the technical nature of the proceedings.

MINUTES/NOTIFICATION

All decisions of the DRB will be recorded in minutes taken at DRB meetings. Although owners will not be present at meetings, recorded minutes will be available upon request. Plans and specifications will be retained by the DRB as part of the record. Applicants will be notified within five (5) working days of all Board decisions.

APPEALS

If an application has been denied, or the approval is subject to conditions which the owner feels unacceptable, the owner may request a hearing before the Developer.

FEES AND BONDS

1. Administration Fee

The DRB requires the payment of an administration fee at the time of application. This fee is non refundable and should be made payable to "Puerto Los Cabos" or its assignee.

- (a) New construction for single family residences US\$3,500
- (b) Each change order or modifications to plans US\$800
- (c) Modifications to existing structures US\$800
- (d) Modifications to existing grounds US\$150

The foregoing amounts shall not constitute a limit on the owner's liability but will be applied against the total cost enforcement of these provisions including, without limitation, the cost of removal or restoration, construction in accordance with the approved plans, and specifications, attorney's fees and court costs. The DRB has the authority to grant exceptions to the foregoing amounts, on a case-by-case basis.

(a) In the event that the owner does not comply with its obligations hereunder, including, without limitation construction of any unapproved proposed improvement or failure to construct in full accordance with the approved plans and specifications, the DRB shall give the owner written notice of the non-compliance and ten (10) days to cure the non-compliance.

(b) If such non compliance is not cured, the DRB will apply the necessary fees to complete the construction or remove and restore the unapproved proposed improvements or to retain an attorney. Additional fees may be applied and shall be deemed a penalty for such failure

(c) In order to determine compliance and completion for disposition of compliance deposit, owner/builder shall contact the DRB for final in-field inspection and provide a Municipality Certificate of Occupancy (CO).

VARIANCES

All variance requests pertaining to DRB approvals must be made in writing to the DRB. Any variances granted shall be considered unique and will not set any precedent for future decisions.

ADDITIONAL REQUIREMENT

These Design Guidelines have been adopted to assist the owners within Puerto Los Cabos and the DRB in connection with the architectural approval process. These are merely guidelines and the DRB will have the right to waive any of the requirements, or will have the right to require additional or more stringent requirements.

SECTION III

BUILDER AND CONTRACTOR STANDARDS

CONTRACTOR STANDARDS

The following shall apply to each and all constructions, improvements, modifications or maintenance of any structure, any change to the outside of any structure and the leveling, digging, tree cutting, gardens or any other change to the single family property inside Puerto Los Cabos. In case of violation to these guidelines and criteria, the construction or the works that are being performed shall stop until its approval. The infringements to the construction rules may result in a \$500 dollar fine for infringement and/or the suspension of the works or the expulsion of a contractor or sub-contractor from the community.

BUILDER'S CONTRACTORS

To guarantee the construction quality of Puerto los Cabos Development, all the builders and contractors in general should have current licenses issued by the authorities of the state of B.C.S. and the proper working experience. DRB has the right to reject any builder or contractor that has shown previous negligence or low quality work. DRB is not responsible for damages occurred to the construction structure caused by a deficient design or for not considering the proper design parameters (land type, land load capacity, earthquake, living loads, dead loads, etc.). All this previously mentioned is responsibility of the designer, builder or contractor and the Construction Chief Director designated by owner.

BEGINNING OF CONSTRUCTION

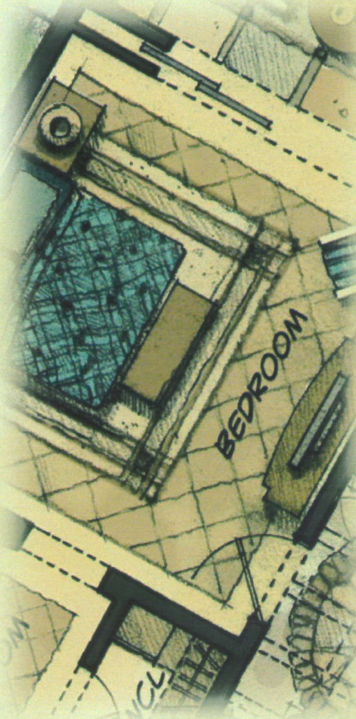
No preparation of the place or portable toilets positioning shall be permitted until formal written DRB authorization has been provided and all the required government permits have been obtained. Neither may the works start if the lot hasn't been properly delivered by the DRB (vertexes and level).

CONSTRUCTION DELIMITATION

It is composed by a fence that has to be at least 2 meters high and surround the whole lot, and that will contain all building related like materials and personnel.

PORTABLE TOILETS

Before starting the works, one portable toilet shall be placed for every 20 workers in the place to prevent as much as possible the bother to other residences and other constructions, it shall have an screen that prevents direct sight from the street.



CONSTRUCTION TRAFFIC

All construction traffic shall enter the Development through the designated construction access. All contractors must register in the condominiums association and/or Security Department, the full list of its sub-contractors and other employees to whom the entering to the community is permitted. The contractor shall have the right of entering one personnel transportation and a maximum of three sub-contractors vehicles. The information of the vehicle and its drivers must be reported to the security personnel. No vehicle must be parked in a place different to their specific work spaces or places assigned by DRB for personnel parking. Washing trucks is not allowed in any street.

CONSTRUCTION HOURS

Construction works hours are from 7:00 a.m. to 5:00 p.m. from Monday through Friday and Saturdays from 7:00 a.m. to 1 p.m. Construction activities of any kind will not take place on or around the lot during official national holidays. These hours are subject to change by the DRB. A 24 hour emergency number must be kept in the Operation Manager file.

CLEANING OF THE AREA

The construction places must be kept in a clean and orderly way. It is required from all contractors to provide at least one covered (1) trash deposit for every residence under construction. The container must be regularly emptied. The builder is responsible for rubble removal and the garbage outside the place must be immediately picked up. No garbage shall pile up in the lot. There shall not be piles or trash containers in adjacent lots nor on the streets. The garbage generated by workers' meals must be immediately removed after the personnel have eaten.

CLEARING

Lot clearing is performed by Puerto Los Cabos qualified personnel, duly complying with PROFEPA regulations. Only plants, vegetation and trees inside the planned structure and access will be removed and taken care of. Based on experience, the success in recovery is at least 50%, to be returned when required for the property's landscaping. Please consider the cost of site clearing and plant storage in the construction costs.

CONSTRUCTION DAMAGES

Any damage to the streets and sidewalks, sewage installations, pavement, public lighting, street signs, mailboxes, walls, gardens, etc., will be repaired by the declarant or the homeowners association and such expenses will be billed to the responsible contractor.

DANGEROUS WASTE SPILLING

Vehicle operators are required to see that they do not spill any dangerous material while inside the community. If spilling occurs, the operators are responsible of cleaning it up. Cleaning made by the homeowners association will be billed to the responsible party. Please report any spilling as soon as possible.

BROKEN SERVICE LINES

If any line, electrical, water, telephone, cable, or other gets cutoff; is the contractor responsibility to report the accident to the declarant in thirty (30) minutes.

CLOTHING

All construction workers must use proper clothing suitable to the requirements of their specific job. They must wear t-shirts at all times.

CONSTRUCTION PLACE APPEARANCE

All personnel working in the community will keep the areas free of waste materials such as food bags and strange materials. Objects shall not be thrown from vehicles or trucks.

If the construction place is located beside a finished residence, this construction site must be hidden with a 3.0 meter high screen.

NOISE LEVELS

Radios or any other noise are not allowed within the community. Normal radio levels are acceptable; however, speakers set on vehicles or outside the residences under construction are not allowed.

VEHICLES AND EQUIPMENT

No vehicle (truck, vans, automobiles, etc.) may be left overnight in the community. Construction equipment may be left in the site while needed, but shall not be kept on the street, unless a permit has been previously issued. Workers private vehicles shall park in the designated area outside the place.

PERSONNEL

Only trusted workers are allowed in the property and must leave the property at the end of their activities. Spouses may drive workers to and from the site, but shall not remain in the property unless they are current sub-contractor workers. For security reasons, children are not allowed in the work site. Alcoholic beverages are not allowed in or close the work site. The contractor personnel shall not be authorized to bring pets to the property. At no time shall the workers be allowed to use the beach or beach installations.

SURVEILLANCE

Just one night watchman shall be assigned for every work site, whose name shall be given to the Security Department; it is strictly forbidden that the construction workers stay overnight at the construction site.

WATER SUPPLY

Potable water supply to every lot through the network is for domestic use, NOT FOR CONSTRUCTION, should it be detected through the water meter that the consumption has been used for construction, the same will be charged using water tank rates (Water Tankers Alliance rates) plus a 20%. Domestic consumption will also be measured and charged according to current rates.

WORKS SUPERVISION

DRB will assign supervision brigades who will have the faculty to check and confirm all guidelines issued in this document, as well as check the construction limits, lot limits, heights, and everything in general issued in the design guidelines. These brigades, properly identified shall have free access to the constructions and the builder or contractor shall have at all time the documentation issued by the DRB for its inspection.

Every time that an inspection is held, it will issue an act which shall be presented to the engineer or architect in charge for his knowledge or observation regarding what he thinks is the best, such report shall immediately be sent to the owner for the proper measures to be applied.

WORK SIGNAGE

All constructions must have a sign with the characteristics stated in the attached sketch that includes the following: PLC Development Logo, name of the owner, name of the builder and his information, site information, Work Chief Director information and a copy of the construction license.



Puerto Los Cabos

RESIDENCIAL
DESIGN
GUIDELINES

edited by:



GRAN VISION
ARQUITECTOS

Carretera Transpeninsular Km. 29
Desarrollo La Jolla C.P. 23400
San Jose Del Cabo, B.C.S. Mexico
Tel. (624) 142 4029
Fax. (624) 142 2002
www.gvarquitectos.com